



## Design Review Board Staff Report

**TO:** DESIGN REVIEW BOARD

**FROM:** NATHAN WILLIAMS, PLANNER II *NW*  
(480) 503-6805, NATHAN.WILLIAMS@GILBERTAZ.GOV

**THROUGH:** CATHERINE LORBEER, AICP, PRINCIPAL PLANNER *chl*  
(480) 503-6016, CATHERINE.LORBEER@GILBERTAZ.GOV

**MEETING DATE:** FEBRUARY 13, 2014

**SUBJECT:** DR13-41, PUBLIC STORAGE FACILITY AT POWER RANCH

<b>STRATEGIC INITIATIVE:</b>	<b>Community Livability</b>
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The project provides a new public storage facility for use of businesses and residences in the Power Ranch area.

### REQUEST

DR13-41, Public Storage at Power Ranch: site plan, landscape plan, grading and drainage, building elevations, lighting, signage, colors and materials, located at the northwest corner of Power Road and Germann Road, zoned General Commercial (GC) with a Planned Area Development (PAD) overlay.

### RECOMMENDED MOTION

Approve the Findings of Fact and DR13-41, Public Storage at Power Ranch: site plan, landscape plan, grading and drainage, building elevations, lighting, signage, colors and materials, located at the northwest corner of Power Road and Germann Road, zoned General Commercial (GC) with a Planned Area Development (PAD) overlay, subject to conditions.

## **APPLICANT/OWNER**

**Applicant** RKAA Architects, Inc.  
**Name** Edgar Felix.  
**Address** 2233 E Thomas Rd.  
Phoenix, AZ 85016  
**Phone:** 602-995-3900  
**E-mail** [efelix@rkaa.com](mailto:efelix@rkaa.com)

**Owner** LDR-NEC Higley and Chandler Heights  
**Name** Gary Davidson  
**Address** 1130 E. Missouri Ave,  
Phoenix, AZ 85016  
**Phone:** 602-263-7626

## **HISTORY**

<i>Date</i>	<i>Action</i>
<i>January 21, 2003</i>	Town Council approved Z02-21; adopting Ordinance No. 1450, an amendment to the Power Ranch Master Plan to codify and clarify previously approved ordinances and the subject site zoned C-2 General Commercial PAD overlay district.
<i>March 3, 2005</i>	The Town Council adopted the Land Development Code (LDC) by approving Ordinance No. 1625. With the adoption of the LDC, the site was zoned General Commercial (GC) PAD

## **BACKGROUND**

The proposed public storage facility is located on a 5.15 acre vacant lot at the northwest corner of Power Road and Germann Road. The site is adjacent to the existing Offices at Power Ranch development directly to the north of the subject site. The Design Review Board previously approved DR13-29 for the Gilbert Public Storage in the Seville Commons. This proposal is of a very similar site design and building articulation from what was previously approved.

### **Surrounding Land Use & Zoning Designations:**

	<b>Existing Land Use Classification</b>	<b>Existing Zoning</b>	<b>Existing Use</b>
<b>North</b>	General Commercial	General Commercial (GC) PAD	Existing Office Uses - Offices at Power Ranch
<b>East</b>	Power Road then Commercial Uses	Commercial (Mesa)	Power Road then existing Commercial uses within the City of Mesa
<b>South</b>	General Commercial	General Commercial (GC) PAD	Vacant Land
<b>West</b>	General Commercial	General Commercial (GC) PAD	Vacant Land
<b>Onsite</b>	General Commercial	General Commercial (GC) PAD	Vacant Land

## Project Data Table

	Required (GC) per LDC	Proposed
Building Height:	45 ft. maximum	14'8" - 27'8" Building A/ Office Apartment; 12', 14' – 16' internal buildings; (All buildings are single story in height).
Lot Area	No maximum	5.15 ac. (224,292 sq. ft.)
Building Area:	No maximum	6 buildings (95,610 sq. ft.)
Build Setback:	25 ft. front; 20 ft. rear	45 ft. front; 75 ft. rear
Lot Coverage:	N/A	42%
Landscaping:	15% (45,824 sq. ft.)	18% (37,800 sq. ft.)
Parking:	10 spaces	25 spaces; plus 2 bicycle spaces
Manager's Residence	1 Manager's Residence	1 Manager's Office/ Residence proposed (2,650 sq. ft.)

## **DISCUSSION**

### **Site Plan**

The site has frontage to the east and has access from a full motion driveway to Power Road on the southern portion of the subject site. Egress from the site is from a right out only onto Power Road on the northern portion of the subject site. Potential additional access could also be provided through the office condominium site to the north and through the currently undeveloped sites to the south as they develop.

A total of 6 buildings containing 95,610 sq. ft. are provided and range in area from 2,650 sq. ft. for the Manager's office and residence, to Building 'B' containing 60,700 of both conditioned and non-conditioned storage space. Most of the buildings are oriented east to west except for Buildings 'C' and 'A' and Manager's residence along the south side. The storage facility is completely contained within the approximate 12 - 14 ft. tall building walls where abutting the property lines, or by 6 - 8 ft. tall CMU or Wrought Iron fences around the perimeter of the site.

Sufficient vehicle stacking is provided in front of the storage facility gate for vehicles entering the site. A total of 25 parking spaces are shown at the entrance and inside the site. Sufficient maneuvering space is provided with drive aisles ranging from 27 to 34 ft. in width. Each of the buildings have externally accessed, roll-up doors except Building 'A', as well as portions of Building 'C,' which have internal hallways for accessing storage spaces. None of the roll-up access doors are visible from beyond the property site walls.

### **Landscaping**

Landscaped open space areas are shown along all sides of the subject site to varying degrees with 37,808 sq. ft. (18%) of open space provided where 15% is required. Landscaping appears to be reasonable in these areas to screen the facilities from direct views from each side. Trees include

Desert Museum Palo Verde, Sisso, and Mondel Pine. The landscaping generally matches that used for the rest of the center and is suitable for the area.

The landscape plan provides perimeter landscaping on all four sides of the site as well as significant foundation landscaping on three sides as well as green screens on the backs of the proposed buildings 'C' and 'D'. Landscape islands are included at a minimum of one for every 8 spaces.

### **Grading and Drainage:**

Site retention is primarily provided via an on-site retention basin located on the eastern and western portion of the site. The proposed Grading and Drainage Plan meets the Town's engineering requirements.

### **Elevations**

Buildings A, B, C and D located on the property's boundaries contain long linear massing with 12-14 ft. tall parapet roofs, but also feature raised tower elements with pitched tile roofs, stucco walls, stone bases and some window areas, to afford some variation and interest for the site. Interior buildings contain 12 ft. tall split face and center score CMU walls with parapet roofs and 8 by 7 ft. roll-up doors for accessing storage spaces. The buildings along the east side of the site are directly visible from Power Road and contain the Manager's office and residence with a raised tower element. Building A utilizes a column supported tile covered roof and arcade feature with roof and recessed window area. Stucco finished walls and stack stone wainscot base add interest to the building. The buildings conform to the Commercial Design Guidelines for materials, styles and colors and are compatible with the rest of the center.

The applicant has provided both wall and monument sign details that demonstrate that the proposed signage will comply with Town requirements.

### **Colors and Materials:**

The building's stucco finished walls contain Sherwin Williams Casablanca and Sand shades of tan, brown ICI Artesian Brown details colors. Tile roofs use Monimer Lifetime Marble Terra Cotta tile and stack stone used at the entrance area building wainscot and column bases is Cedar Limestone by Cultured Stone. Windows along the south elevation use clear storefront glazing in dark anodized aluminum frames. Public Storage's corporate colors of orange with yellow and purple trim are used as parapet roof caps, awning and roll-up door colors and although bright, are used mainly as accents and are not excessively used or a visual deterrent to the appearance of the commercial building.

### **Lighting**

Parking lot lighting contains single and double head Lithonia DSXO 138 watt LED fixtures mounted on 20 ft. tall poles. Building mounted lighting includes Lithonia OLWP wall pack fixtures with 20 watt LED fixtures and mounted at 8 ft. at the interior of the site and 36 watt Kenall FS121 fixtures are shown at the entry gate and adjacent to the Manager's residence to provide sufficient lighting at the entrance. Lighting uses full cut-off fixtures with downward directed lamps that match the rest of the center. A photometric plan has been provided indicating that site lighting is reasonably subtle with light trespass at property lines generally not exceeding 0.3 foot-candles at the property line and conforming to Code requirements.



## **PUBLIC NOTIFICATION AND INPUT**

An official notice was posted in all the required public places within the Town and neighborhood notice was provided per the requirements of the Land Development Code Article 5.205.

Staff has received no comment from the public.

## **STAFF RECOMMENDATIONS**

Approval of the findings of fact and approval of DR13-41, Public Storage at Power Ranch: site plan, landscape plan, grading and drainage, building elevations, lighting, signage, colors and materials, located at the northwest corner of Power Road and Germann Road, zoned General Commercial (GC) with a Planned Area Development (PAD) overlay, subject to conditions;

1. Construction of the project shall conform to the exhibits approved by the Design Review Board at the February 13, 2014 public hearing.
2. The construction site plan documents shall incorporate the Standard Commercial and Industrial Site Plan Notes adopted by the Design Review Board on March 11, 2004.

Respectfully submitted,



Nathan Williams  
Planner II

## **Attachments**

1. Notice of Public Hearing
2. Aerial
3. Site Plan (3 pages)
4. Landscape Plan
5. Elevations (4 pages)
6. Floorplans (2 pages)
7. Preliminary Grading and Drainage Plan (3 pages)
8. Color Board
9. Lighting Plan

## **FINDINGS OF FACT**

### **DR13-41 Public Storage Facility at Power Ranch, located at the northwest corner of Power Road and Germann Road**

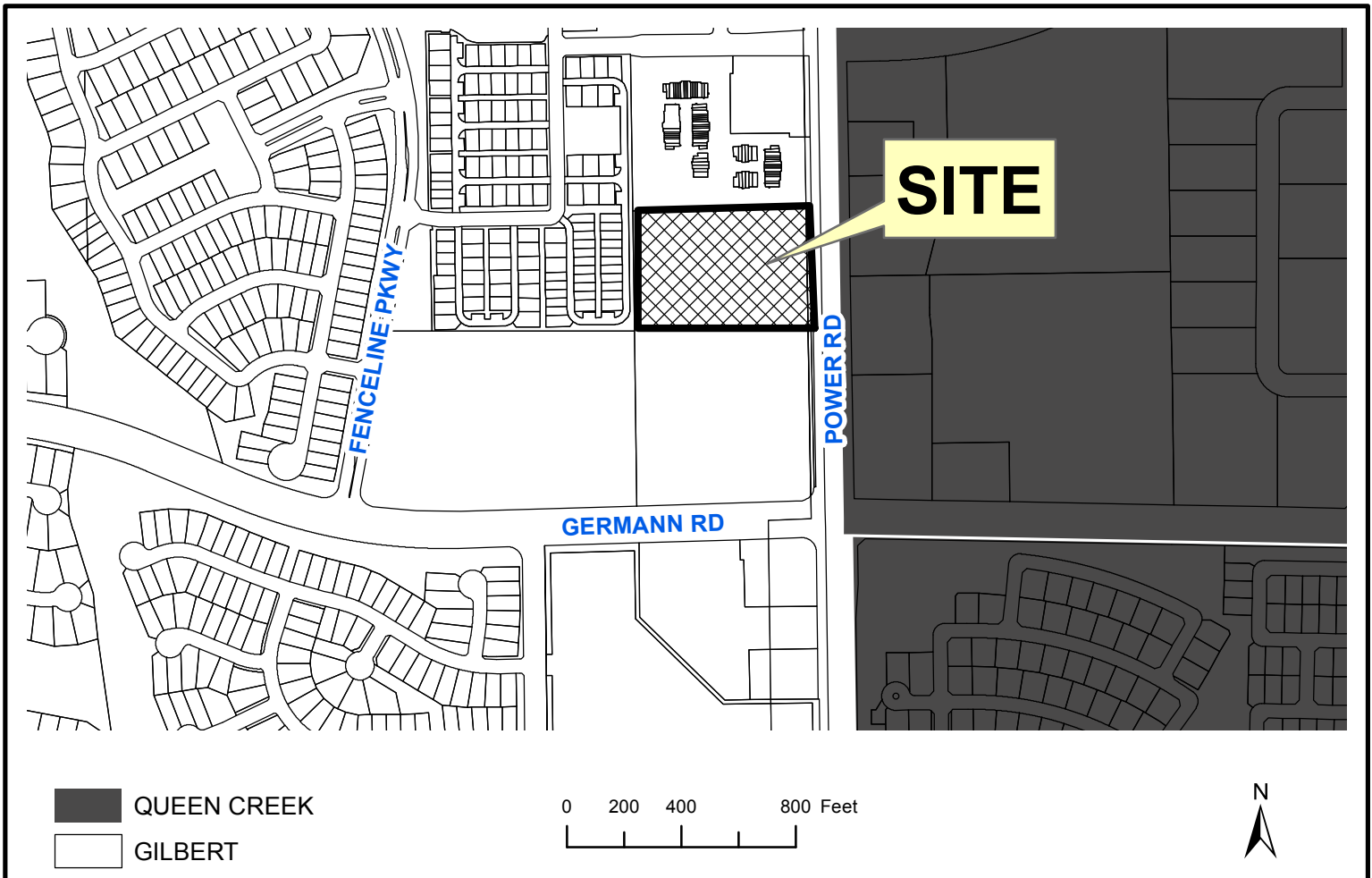
1. The project is consistent with the Commercial Design Guidelines;
2. The project conforms to the General Plan, and specifically to the Land Use, Community Design, and Environmental Planning Elements;
3. The project is consistent with all applicable provisions of the Zoning Code;
4. The project is compatible with adjacent and nearby regional commercial development; and
5. The project design provides for safe and efficient provision of public services.

## *Notice of Public Hearing*

**DESIGN REVIEW BOARD DATE:****Thursday February 13, 2014\* TIME: 5:30 PM****LOCATION: Gilbert Municipal Center, Conference Room 300****50 E. Civic Center Drive****Gilbert, Arizona 85296****\* Call Planning Department to verify date and time: (480) 503-6700*****REQUESTED ACTION:***

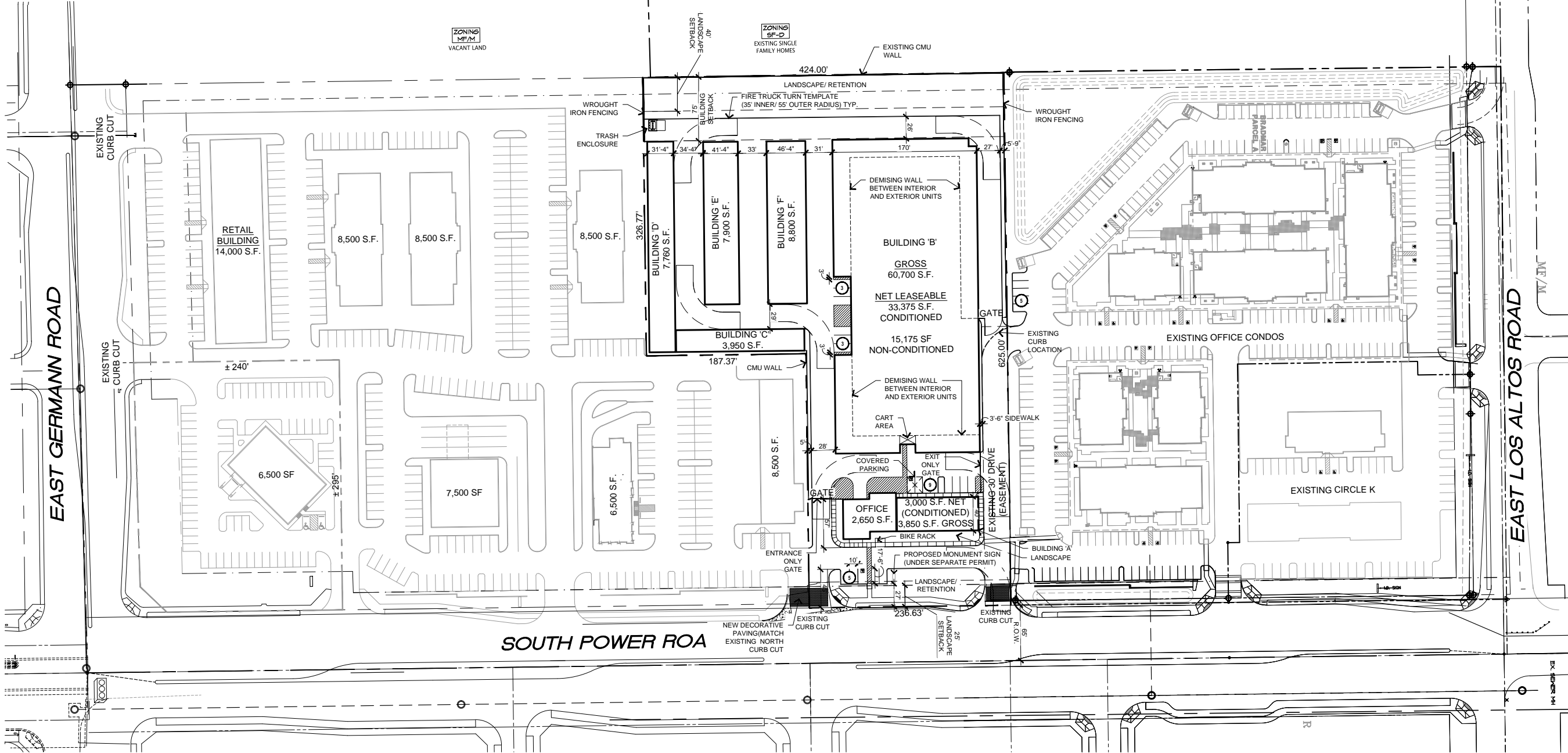
DR13-41: Public Storage Facility at Power: Approval of site plan, landscape plan, grading and drainage, building elevations, lighting, signage, colors and materials for Public Storage Facility at Power, located on approximately 5.15 acres at the northwest corner of Power Road and Germann Road, zoned General Commercial (GC) with a Planned Area Development Overlay zoning district.

\* The application is available for public review at the Town of Gilbert Development Services division Monday - Thursday 7 a.m. - 6 p.m.

***SITE LOCATION:*****APPLICANT: RKA Architects, Inc.****CONTACT: Edgar Felix****ADDRESS: 2233 E. Thomas Rd.****Phoenix, AZ 85016****TELEPHONE: (602) 955-3900****FAX: (602) 955-0496****E-MAIL: [efelix@rkaa.com](mailto:efelix@rkaa.com)**







**SITE PLAN**

scale: 1" = 60'-0"



THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

**site data**

EXISTING ZONING: GC  
GROSS AREA: 5.15 ACRES (224,292 S.F.)  
NET SITE AREA: 4.80 ACRES (209,121 S.F.)

PROPOSED USE: STORAGE

TOTAL GROSS BUILDING AREA: 95,610 S.F.

AIR CONDITIONED STORAGE: 36,375 S.F.  
NON-AIR CONDITIONED STORAGE: 43,510 S.F.

TOTAL NET LEASEABLE AREA: 79,885 S.F.

TOTAL PARKING REQUIRED: 10 SPACES

STORAGE  
STORAGE W/ 1 DWELLING UNIT 8 SPACES PLUS 2 COVERED SPACES PER DWELLING UNIT

TOTAL PARKING PROVIDED: 25 SPACES

BIKE PARKING REQUIRED: 1 SPACE  
BIKE PARKING PROVIDED: 2 SPACES

PRELIMINARY  
01-15-14

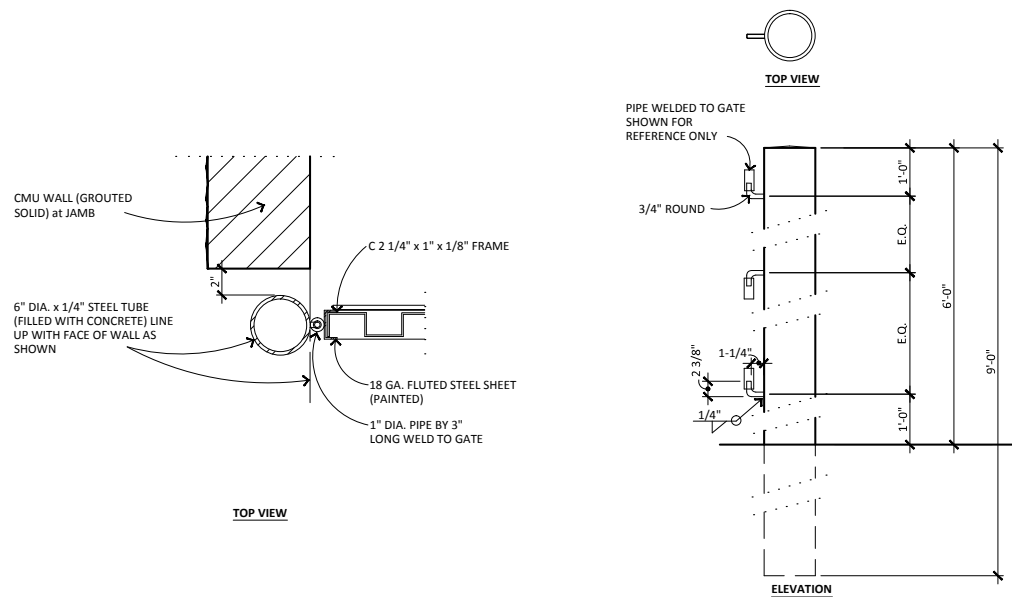
PUBLIC STORAGE - POWER  
NWC POWER ROAD AND GERMAN ROAD  
GILBERT, AZ

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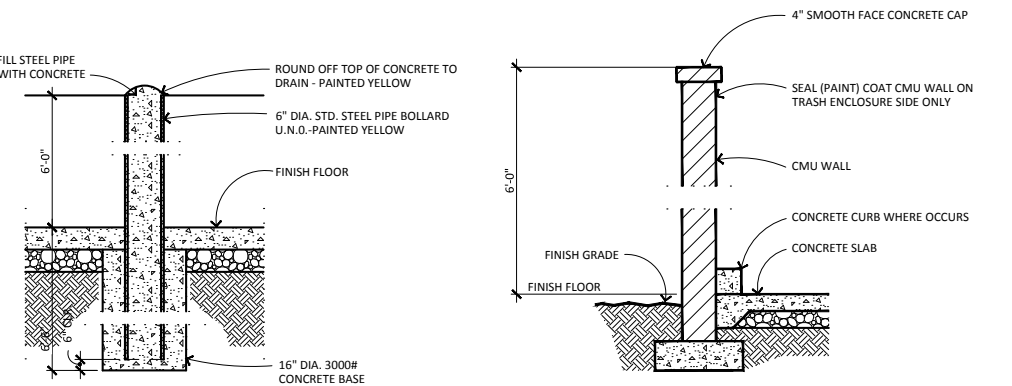
design by: EF  
drawn by: EF  
checked by: RWK

SP-1  
project #: 13153.5

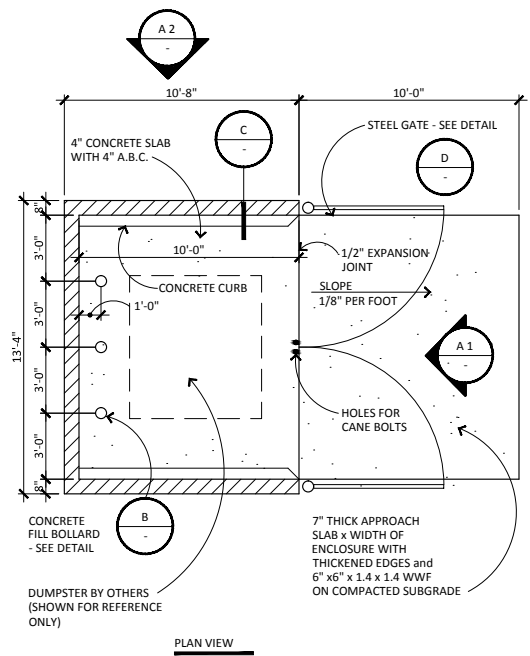
IRKAA  
ARCHITECTS  
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016  
602-955-3900  
IRKAA.COM



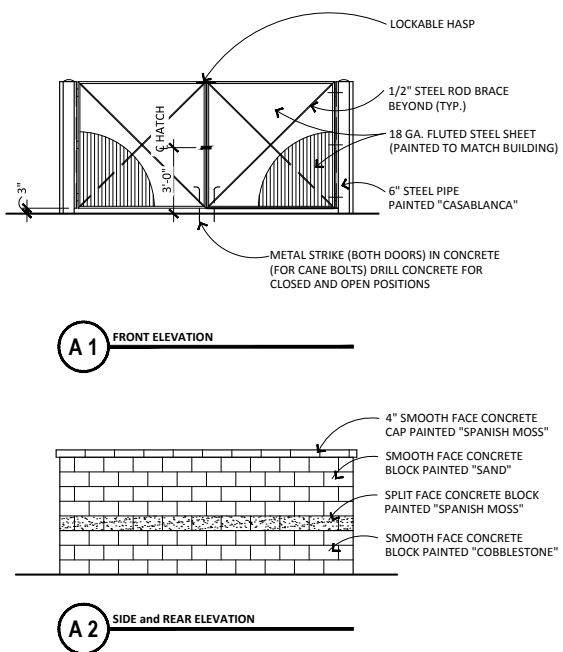
**D GATE POST** NOT TO SCALE



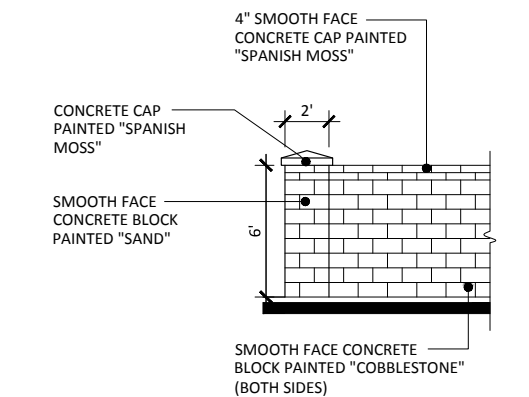
**B PIPE BOLLARD (N.T.S.)** **C TRASH ENCLOSURE WALL (N.T.S.)**



**16 TRASH ENCLOSURE** SCALE: 1/4" = 1'-0"

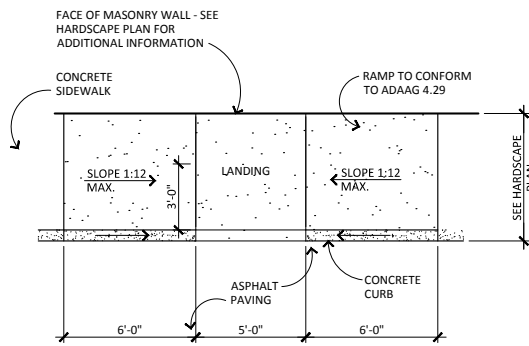


**8 CURB RAMP** SCALE: 1/4" = 1'-0"

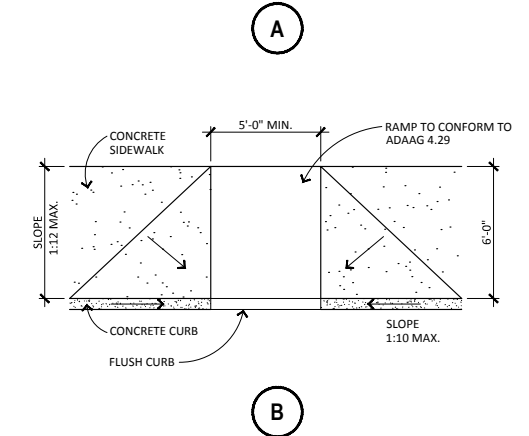


**5 SCREEN WALL ELEVATION** SCALE: 1/4" = 1'-0"

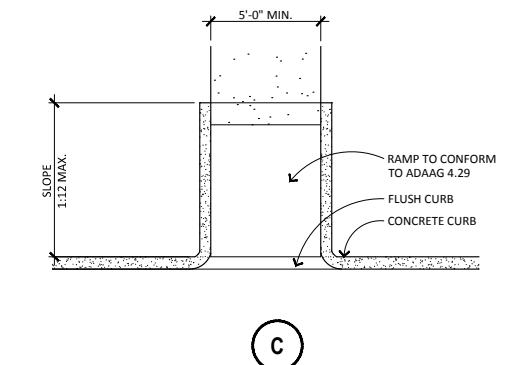
NOTE:  
1. CONCRETE AT RAMP TO BE CONTRASTING COLOR.  
2. DIMENSIONS TO BE FIELD VERIFIED WITH CONCRETE SIDEWALK HEIGHT 6" MIN. ABOVE ASPHALT PAVING - TYP.



**2 LIGHT POLE BASE** SCALE: 1/4" = 1'-0"



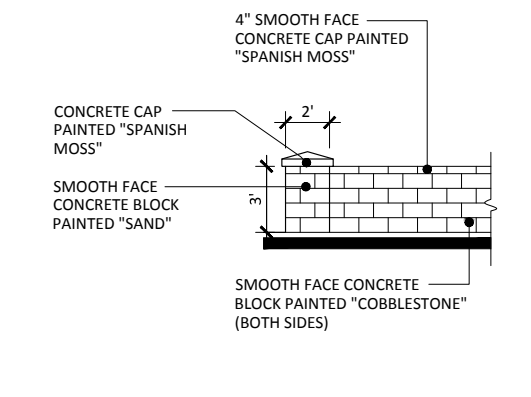
**A ACCESSIBLE STALL**



**B SINGLE STALL**

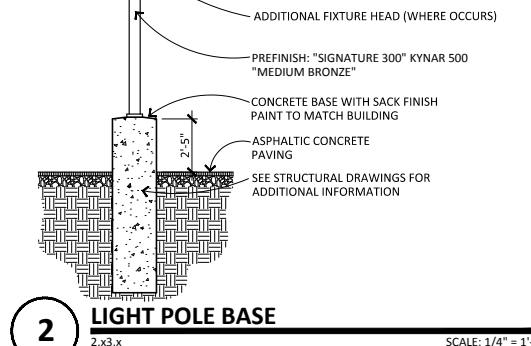


**C STANDARD STALL**

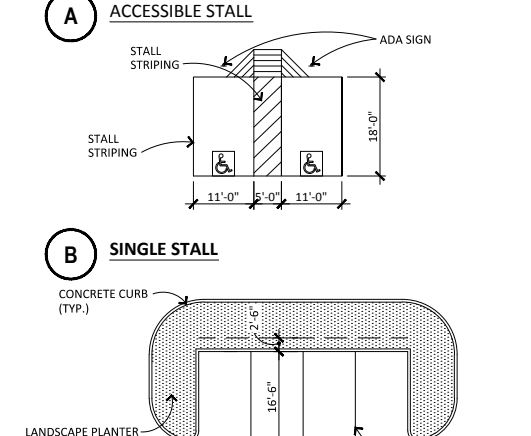


**1 SCREEN WALL ELEVATION** SCALE: 1/4" = 1'-0"

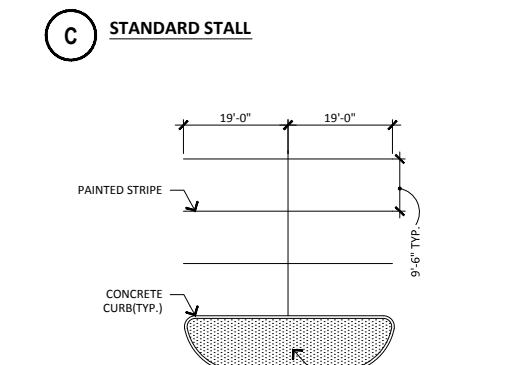
NOTE:  
PARKING LOT LIGHT FIXTURE SHALL HAVE A FLAT LENSE AND SHALL BE MOUNTED HORIZONTAL (90° TO VERTICAL) WITHOUT A TILT



**2 LIGHT POLE BASE** SCALE: 1/4" = 1'-0"



**A ACCESSIBLE STALL**



**B SINGLE STALL**



**C STANDARD STALL**



**4 PARKING STALL** SCALE: 1/16" = 1'-0"



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602-955-3900

**PRELIMINARY**

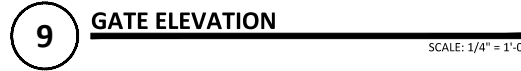
**01-15-2014**

**SITE DETAILS**

**PUBLIC STORAGE-POWER**  
NWC POWER AND GERMANN ROADS  
GILBERT, ARIZONA

design by: EF  
drawn by: EF  
checked by: RWK

**SP1.1**  
project #: 13153



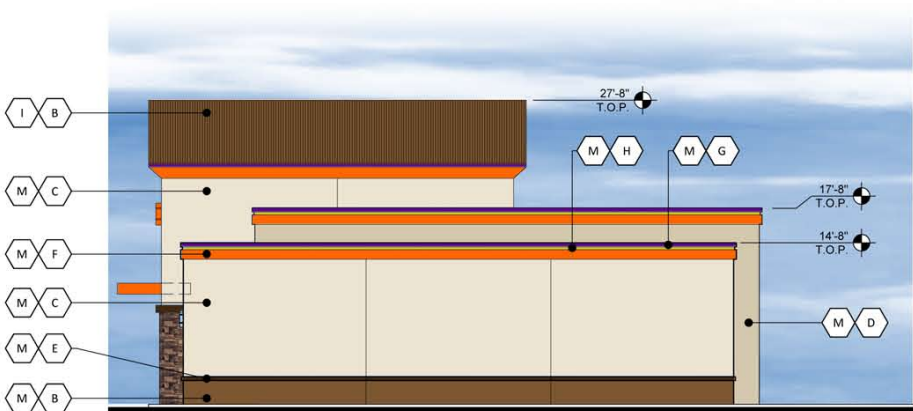






OFFICE/APARTMENT AND BUILDING 'A' EAST ELEVATION

SCALE: 1/8" = 1'-0"



OFFICE/APARTMENT AND BUILDING 'A' NORTH ELEVATION

SCALE: 1/8" = 1'-0"

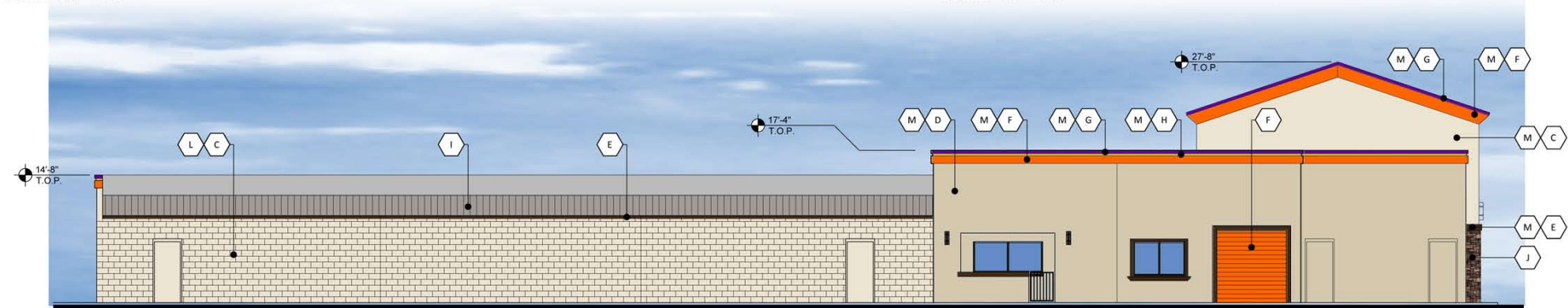


OFFICE/APARTMENT AND BUILDING 'A' SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

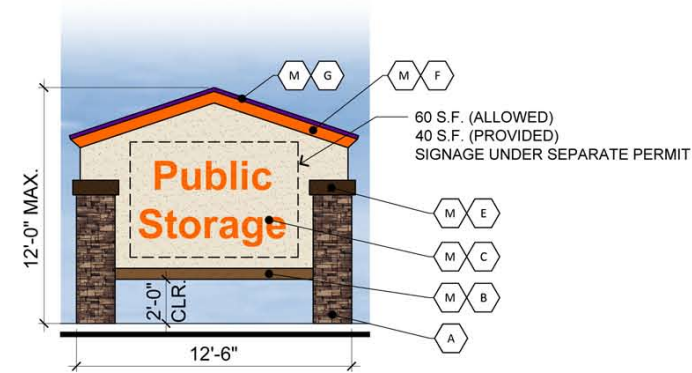
FINISH MATERIAL SCHEDULE

- A ALUMINUM STOREFRONT FRAME "BRONZE ANODIZED FINISH"
- B SHERWIN WILLIAMS - "COBBLESTONE"
- C SHERWIN WILLIAMS - "CASABLANCA"
- D SHERWIN WILLIAMS - "SAND"
- E SHERWIN WILLIAMS - "SPANISH MOSS"
- F PUBLIC STORAGE "ORANGE"
- G PUBLIC STORAGE "PURPLE"
- H PUBLIC STORAGE "YELLOW"
- I GALVANIZED METAL ROOF
- J CULTURED STONE "CEDAR LIMESTONE" CSV-2044
- K SPLIT FACE BLOCK
- L SMOOTH FACE BLOCK
- M STUCCO FINISH
- N METAL WALL PANEL
- O METAL AWNING



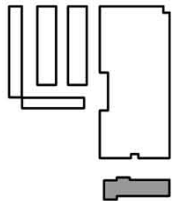
OFFICE/APARTMENT AND BUILDING 'A' WEST ELEVATION

SCALE: 1/8" = 1'-0"



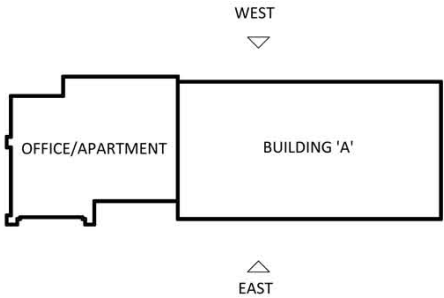
MONUMENT SIGN

SCALE: 1/4" = 1'-0"



OVERALL KEY MAP

SCALE: NTS



OFFICE AND BUILDING 'A' KEY MAP

SCALE: NTS



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2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016  
602-955-3900

PRELIMINARY

01-15-2014  
OFFICE/APARTMENT AND BUILDING 'A' ELEVATIONS

PUBLIC STORAGE  
NWC POWER AND GERMANN ROADS  
GILBERT, ARIZONA

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design by: EF  
drawn by: EF  
checked by: RWK

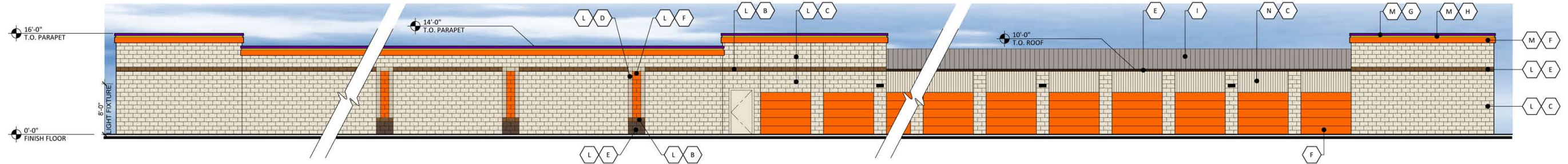
A5.0  
project #: 13153





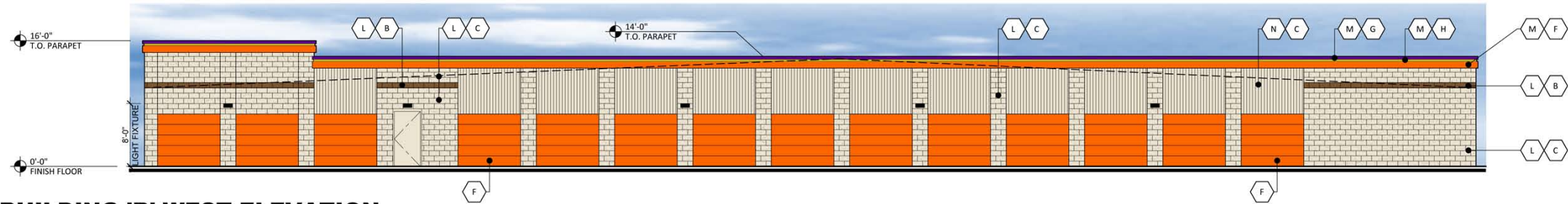
**BUILDING 'B' EAST ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 'B' NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**BUILDING 'B' WEST ELEVATION**

SCALE: 1/8" = 1'-0"

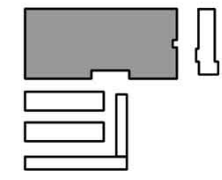


**BUILDING 'B' SOUTH ELEVATION**

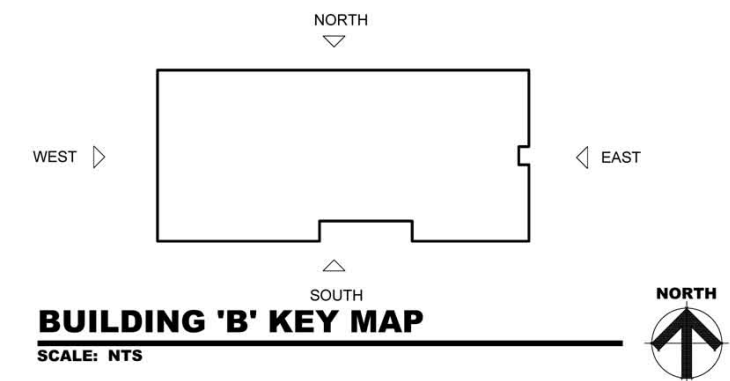
SCALE: 1/8" = 1'-0"

**FINISH MATERIAL SCHEDULE**

A ALUMINUM STOREFRONT FRAME "BRONZE ANODIZED FINISH"	H PUBLIC STORAGE "YELLOW"
B SHERWIN WILLIAMS - "COBBLESTONE"	I GALVANIZED METAL ROOF
C SHERWIN WILLIAMS - "CASABLANCA"	J CULTURED STONE "CEDAR LIMESTONE" CSV-2044
D SHERWIN WILLIAMS - "SAND"	K CENTER SCORED BLOCK
E SHERWIN WILLIAMS - "SPANISH MOSS"	L SPLIT FACE BLOCK
F PUBLIC STORAGE "ORANGE"	M STUCCO FINISH
G PUBLIC STORAGE "PURPLE"	N METAL WALL PANEL



**OVERALL KEY MAP**  
SCALE: NTS



**BUILDING 'B' KEY MAP**  
SCALE: NTS



**IRKAA**  
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016  
602-955-3900

**PRELIMINARY**  
01-16-2014

**BUILDING 'B' ELEVATIONS**  
NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACT MAY ALLOW THE OWNER TO REQUEST THE SUBMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON 15 DAY ALTERNATIVE SCHEDULE AFTER CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN SCHEDULE OF BILLING CYCLES APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

**PUBLIC STORAGE**  
NWC POWER AND GERMANN ROADS  
GILBERT, ARIZONA

design by: JA  
drawn by: EF  
checked by: RWK

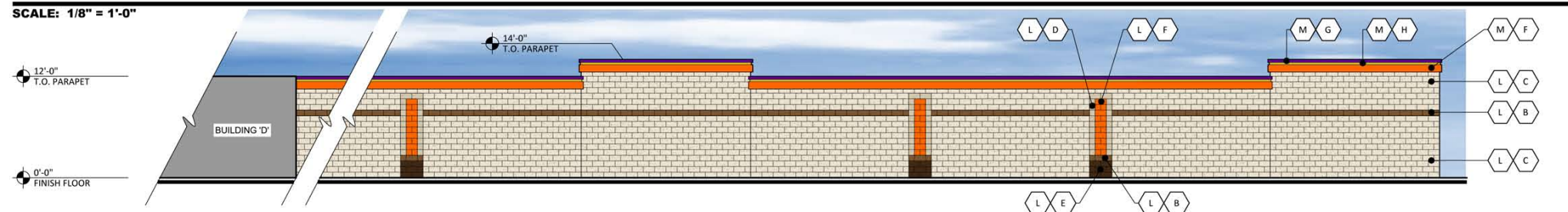
**A5.1**  
project #: 13153





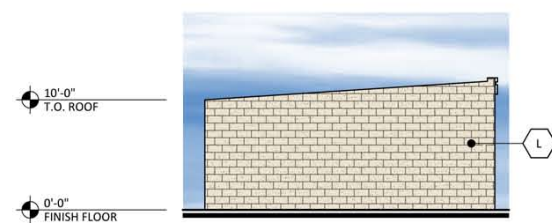
**BUILDING 'C' WEST ELEVATION**

SCALE: 1/8" = 1'-0"



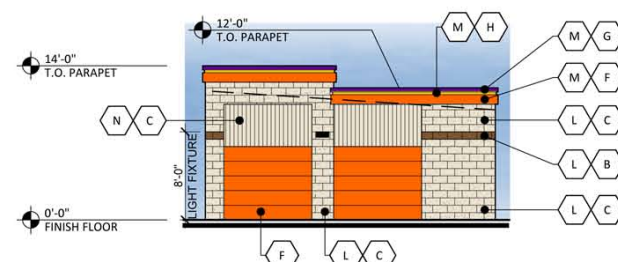
**BUILDING 'C' EAST ELEVATION**

SCALE: 1/8" = 1'-0"



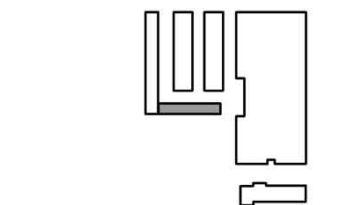
**BUILDING 'C' SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



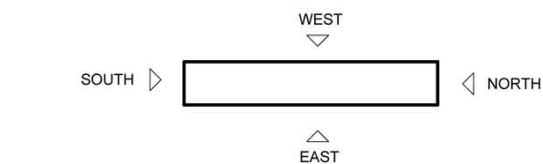
**BUILDING 'C' NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**OVERALL KEY MAP**

SCALE: NTS



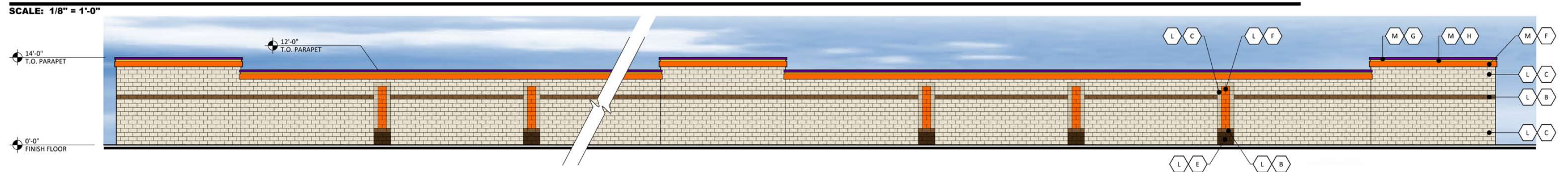
**BUILDING 'C' KEY MAP**

SCALE: NTS



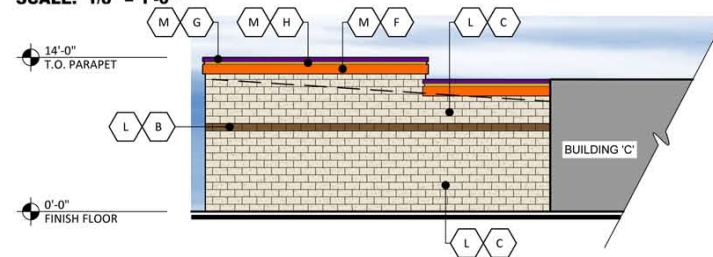
**BUILDING 'D' NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



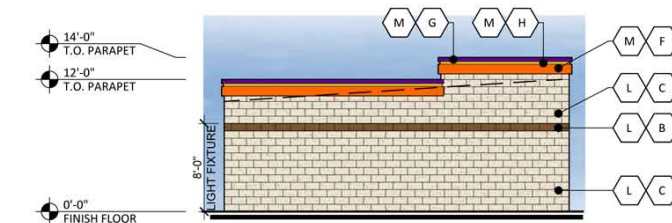
**BUILDING 'D' SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"



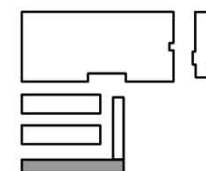
**BUILDING 'D' EAST ELEVATION**

SCALE: 1/8" = 1'-0"



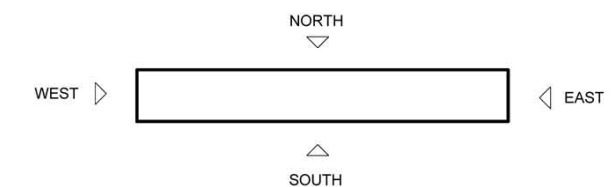
**BUILDING 'D' WEST ELEVATION**

SCALE: 1/8" = 1'-0"



**OVERALL KEY MAP**

SCALE: NTS



**BUILDING 'D' KEY MAP**

SCALE: NTS



**FINISH MATERIAL SCHEDULE**

A	ALUMINUM STOREFRONT FRAME "BRONZE ANODIZED FINISH"	H	PUBLIC STORAGE "YELLOW"
B	SHERWIN WILLIAMS - "COBBLESTONE"	I	STANDING SEAM METAL ROOF
C	SHERWIN WILLIAMS - "CASABLANCA"	J	CULTURED STONE "CEDAR LIMESTONE" CSV-2044
D	SHERWIN WILLIAMS - "SAND"	K	CENTER SCORED BLOCK
E	SHERWIN WILLIAMS - "SPANISH MOSS"	L	SPLIT FACE BLOCK
F	PUBLIC STORAGE "ORANGE"	M	STUCCO FINISH
G	PUBLIC STORAGE "PURPLE"	N	METAL WALL PANEL



**IRKAA**  
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016  
602-955-3900

**PRELIMINARY**

01-16-2014  
BUILDING 'C' ELEVATIONS AND  
BUILDING 'D' ELEVATIONS

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE  
THIS CONTRACT MAY ALLOW THE OWNER TO REQUEST  
THE SUBMISSION OF BILLING OR ESTIMATES IN  
BILLING CYCLES OTHER THAN THIRTY DAYS. THIS  
CERTIFICATION AND APPROVAL OF BILLING AND  
ESTIMATES, A WRITTEN DECLARATION OF EACH OTHER  
BILLING CYCLE APPLICABLE TO THE PROJECT IS  
VALUABLE FROM OWNER OR DESIGNATED AGENT.

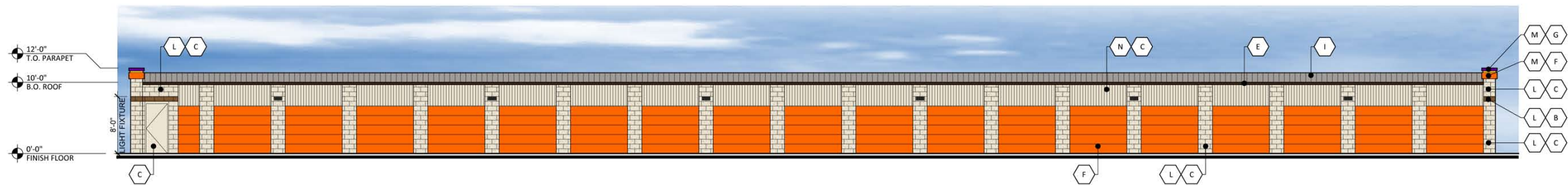
**PUBLIC STORAGE**  
NWC POWER AND GERMANN ROADS  
GILBERT, ARIZONA

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DRAWING IS AN INSTRUMENT OF SERVICE. IT IS THE  
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REPRODUCED HEREIN WITHOUT WRITTEN  
PERMISSION OF THE CORPORATION.

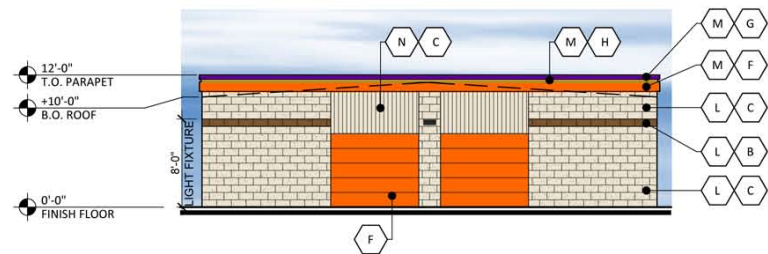
design by: JA  
drawn by: EF  
checked by: RWK

**A5.2**  
project #: 13153

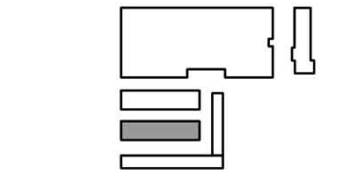




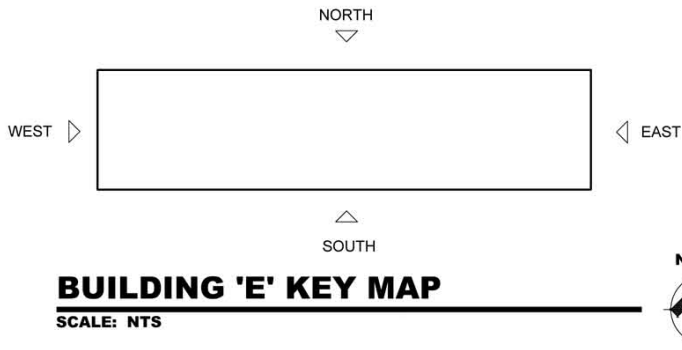
**BUILDING 'E' NORTH/SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



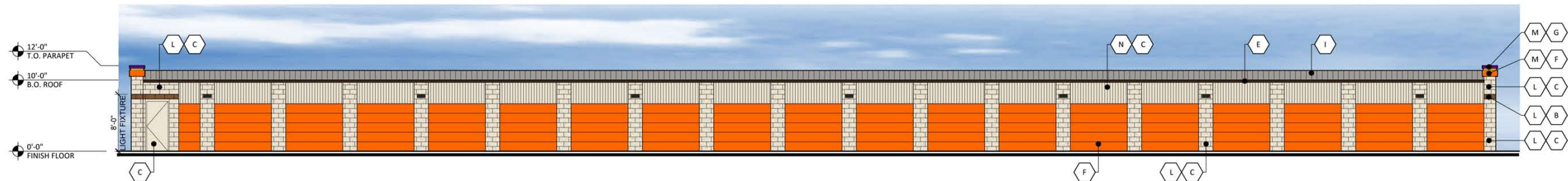
**BUILDING 'E' EAST/WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



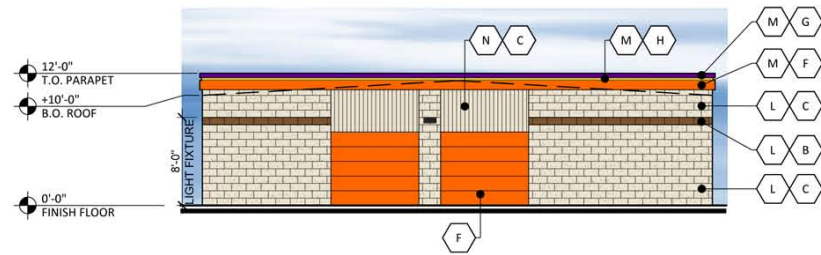
**OVERALL KEY MAP**  
SCALE: NTS



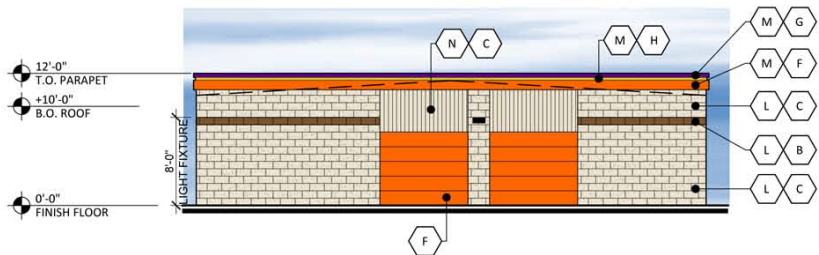
**BUILDING 'E' KEY MAP**  
SCALE: NTS



**BUILDING 'F' NORTH/SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



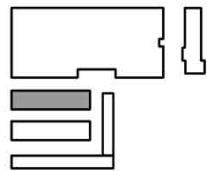
**BUILDING 'F' EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



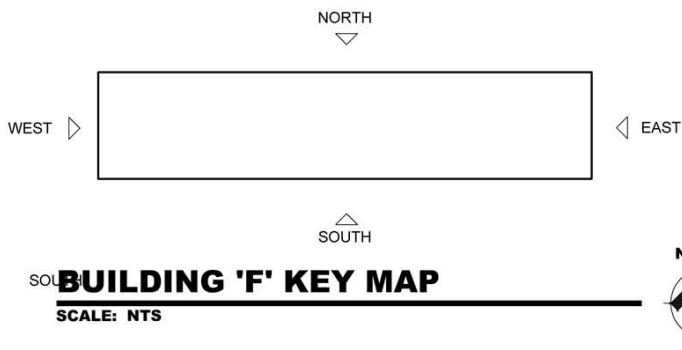
**BUILDING 'F' WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**FINISH MATERIAL SCHEDULE**

A ALUMINUM STOREFRONT FRAME "BRONZE ANODIZED FINISH"	H PUBLIC STORAGE "YELLOW"
B SHERWIN WILLIAMS - "COBBLESTONE"	I STANDING SEAM METAL ROOF
C SHERWIN WILLIAMS - "CASABLANCA"	J CULTURED STONE "CEDAR LIMESTONE" CSV-2044
D SHERWIN WILLIAMS - "SAND"	K CENTER SCORED BLOCK
E SHERWIN WILLIAMS - "SPANISH MOSS"	L SPLIT FACE BLOCK
F PUBLIC STORAGE "ORANGE"	M STUCCO FINISH
G PUBLIC STORAGE "PURPLE"	N METAL WALL PANEL



**OVERALL KEY MAP**  
SCALE: NTS



**BUILDING 'F' KEY MAP**  
SCALE: NTS



**IRKAA**  
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016  
602-955-3900

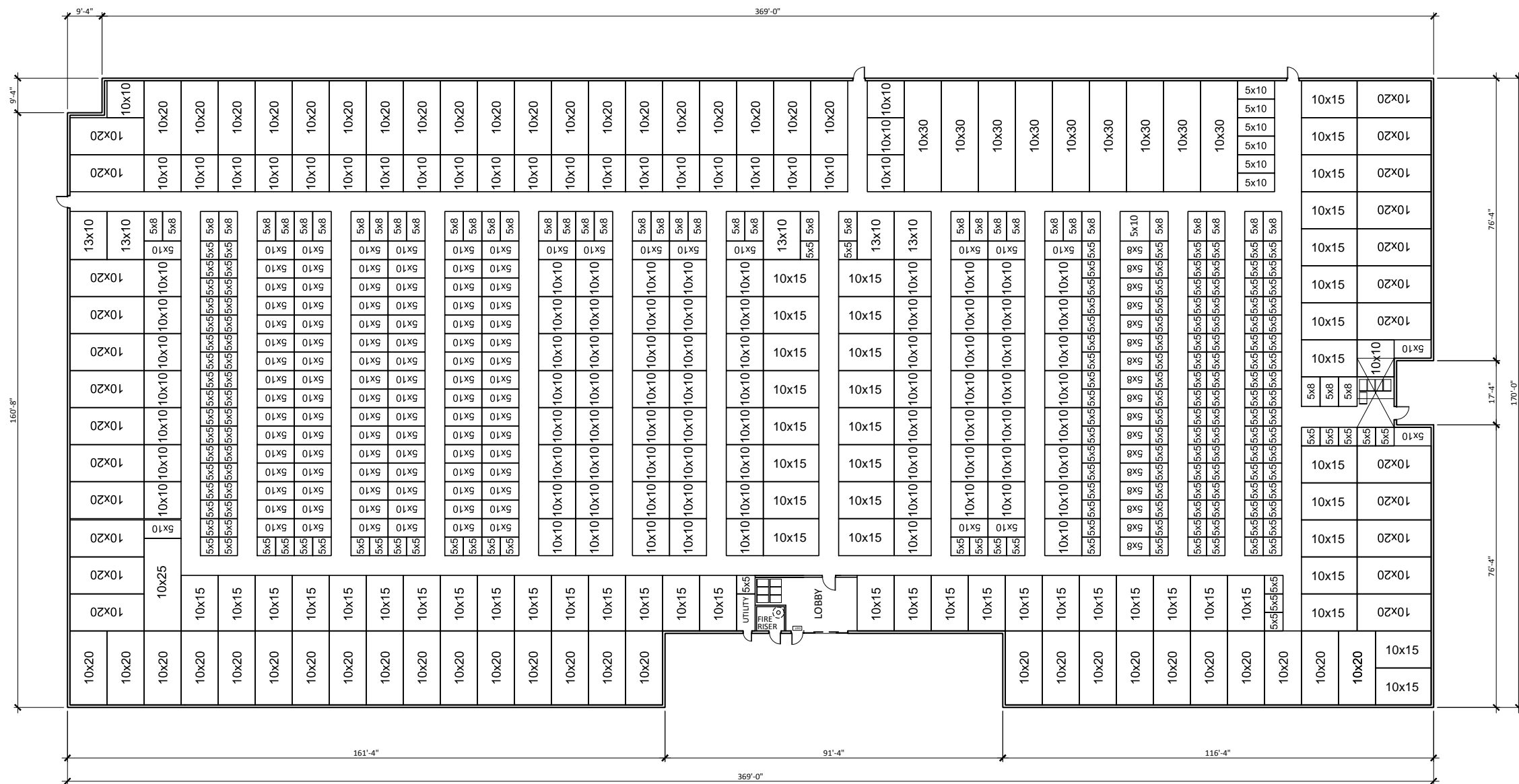
**PRELIMINARY**

01-16-2014  
BUILDING 'E' ELEVATIONS  
BUILDING 'F' ELEVATIONS  
NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE: THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATES IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON TERMS ALTERNATIVE TO THIRTY DAYS AFTER CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATES. A WRITTEN SCHEDULE OF BACKLOGS BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.

**PUBLIC STORAGE**  
NWC POWER AND GERMANN ROADS  
GILBERT, ARIZONA

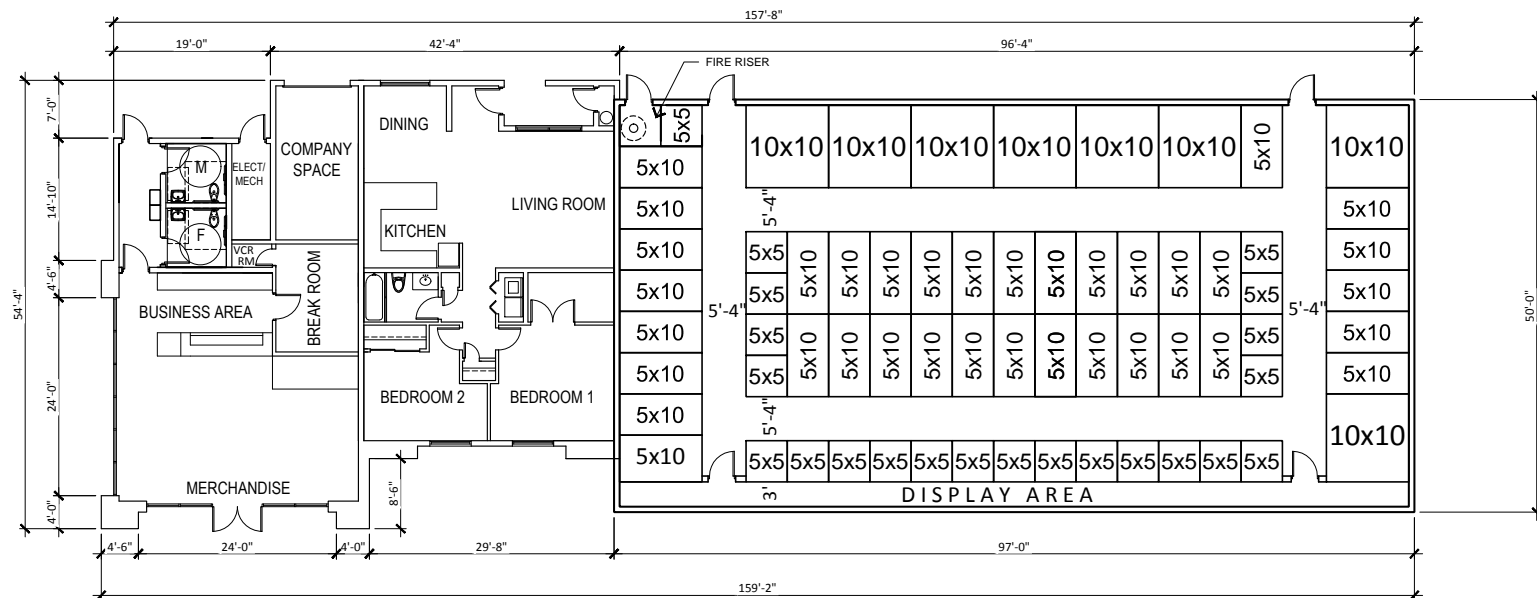
design by: JA  
drawn by: EF  
checked by: RWK

**A5.3**  
project #: 13153



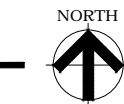
## BUILDING 'B' FLOOR PLAN

SCALE: 1/16" = 1'-0"

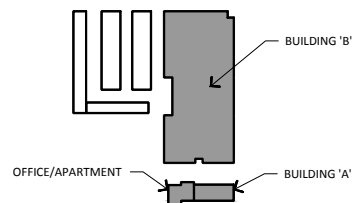


## OFFICE/APARTMENT AND BUILDING 'A' FLOOR PLAN

SCALE: 3/32" = 1'-0"



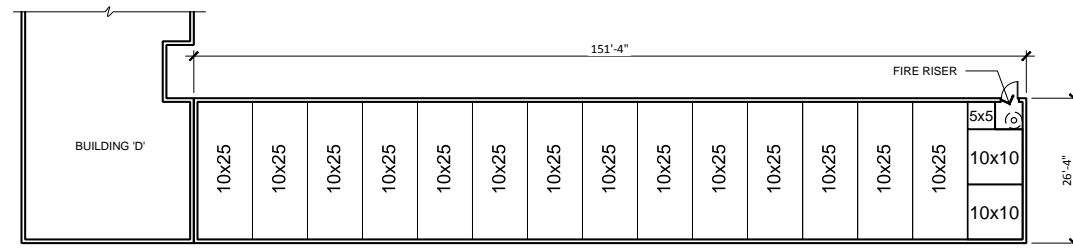
## DR13-41 Attachment 6: Floor Plans (2 pages) February 13, 2014



## OVERALL KEY MAP

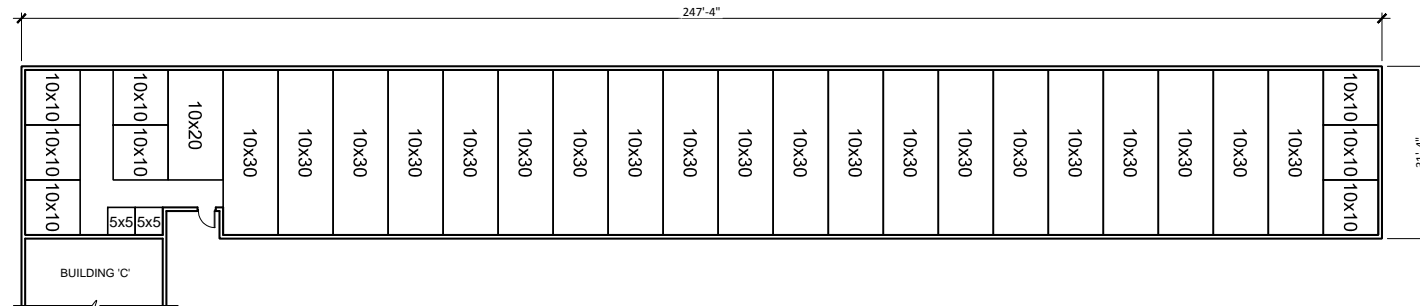
SCALE: NTS





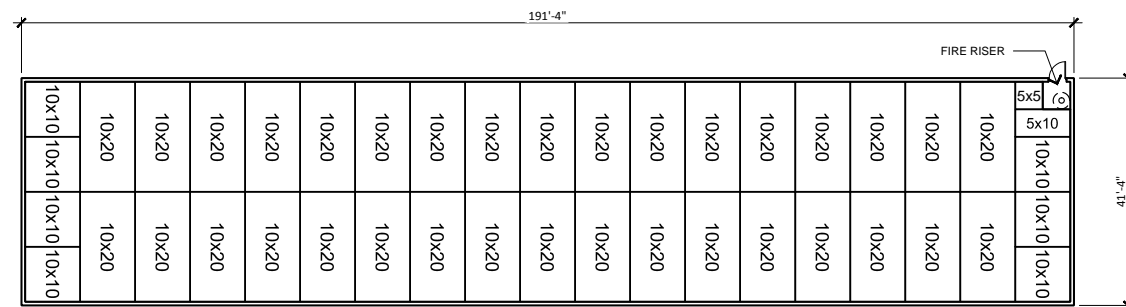
### BUILDING 'C' FLOOR PLAN

SCALE: 1/16" = 1'-0"



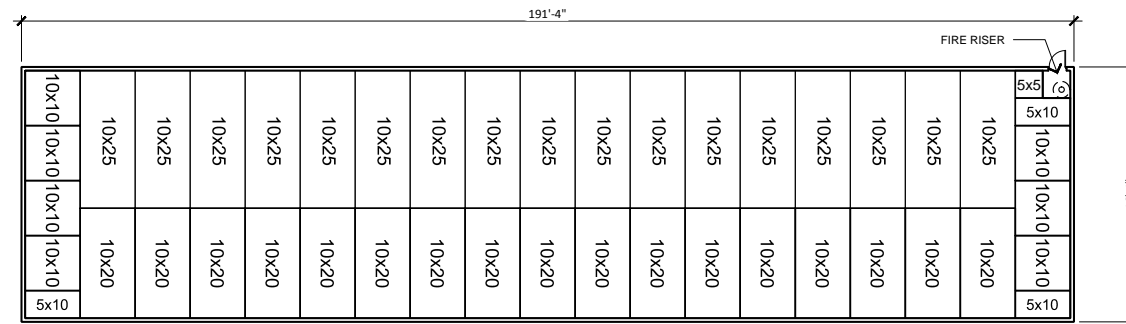
## BUILDING 'D' FLOOR PLAN

SCALE: 1/16" = 1'-0"



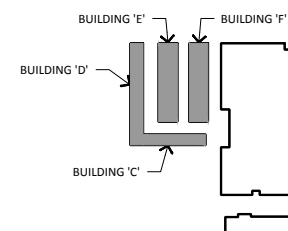
BUILDING 'E' FLOOR PLAN

SCALE: 1/16" = 1'-0"



BUILDING 'F' FLOOR PLAN

SCALE: 1/16" = 1'-0"



## OVERALL KEY MAP

SCALE: NTS



PRELIMINARY

**\_01-16-2014**

**BUILDING 'D' FLOOR PLAN**

**PUBLIC STORAGE**  
NWC POWER AND GERMANN ROADS  
GILBERT, ARIZONA

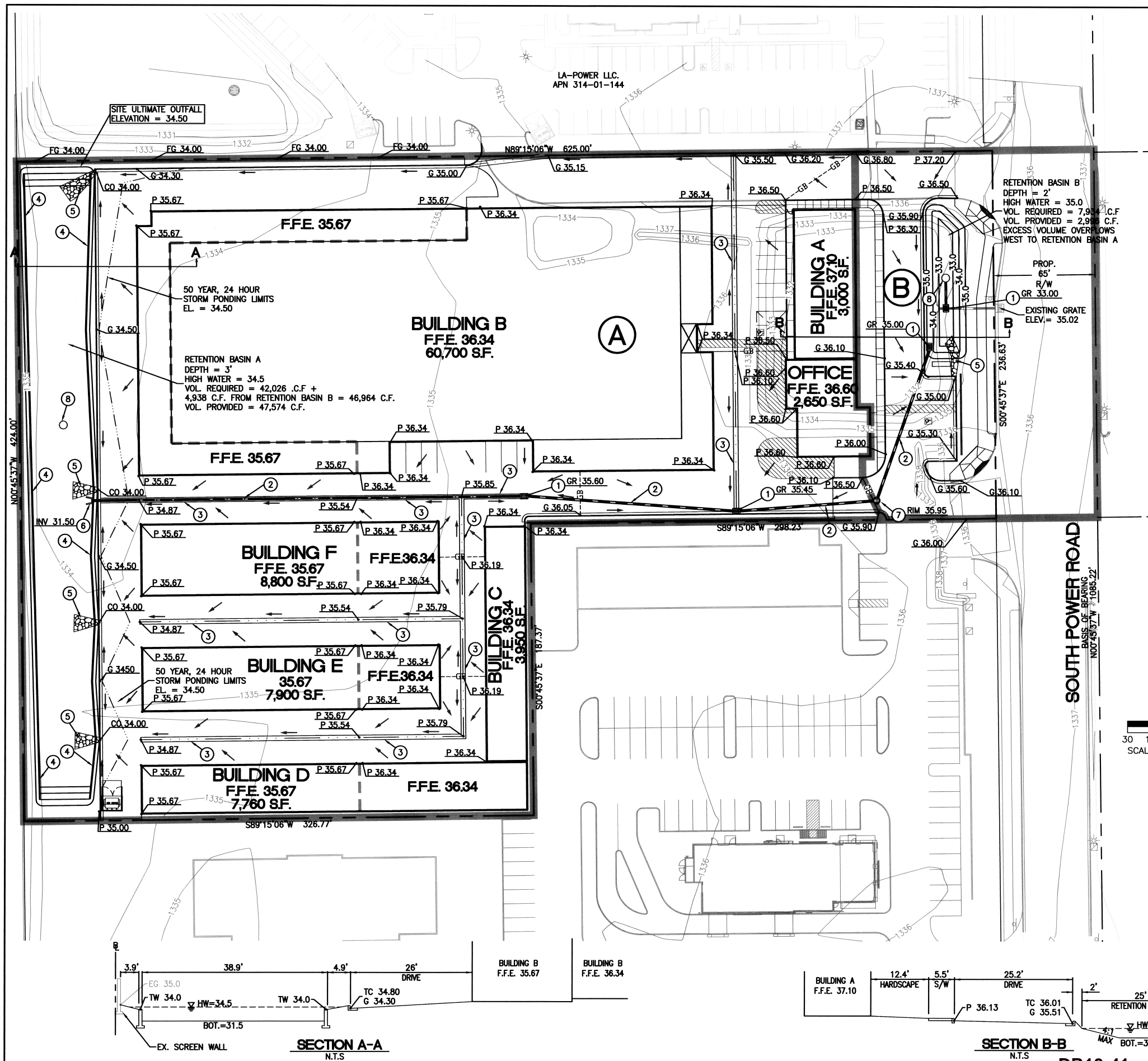
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Design by: EF  
Drawn by: JA  
Checked by: RWK

## A1.1

**BRKAA**  
A R C H I T E C T S  
2233 EAST THOMAS ROAD, PHOENIX, ARIZONA 85016  
602-955-3900  
RKAA.com





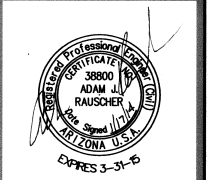
# CONSTRUCTION NOTES

- 1 PROPOSED CATCH BASIN.
- 2 PROPOSED STORM DRAIN.
- 3 PROPOSED 3" VALLEY GUTTER.
- 4 PROPOSED 30" HIGH RETAINING WALL.
- 5 PROPOSED DEPRESSED CURB WITH RIPRAP EROSION PROTECTION.
- 6 PROPOSED HEADWALL.
- 7 PROPOSED MANHOLE.
- 8 PROPOSED DRYWELL.

**PUBLIC STORAGE**

**PRELIMINARY GRADING AND DRAINAGE PLAN**

NWC POWER ROAD AND GERMANN ROAD, GILBERT, AZ  
SECTION 1, T2S, R6E OF THE  
G&SRM, MARICOPA COUNTY, AZ



**OPTIMUS**  
CIVIL DESIGN GROUP  
SUITE 200  
1000 N. GILBERT ROAD  
GILBERT, AZ 85133  
PH: (602) 286-9300 FAX: (602) 286-9400

DESIGNED: AJR  
DRAWN: JS  
CHECKED: AJR  
DATE: 1/17/14  
JOB NO.: 131177

DRAWING NO  
**C-2**  
2 OF 3

DR13-41



## LEGAL DESCRIPTION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 SOUTH, RANGE 6 EAST OF THE GILA AND SALT RIVER MERIDIAN, MARICOPA COUNTY, ARIZONA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE BRASS CAP IN HAND HOLE AT SOUTHEAST CORNER OF SAID SECTION 1, FROM WHICH THE BRASS CAP IN HAND HOLE AT THE EAST QUARTER CORNER OF SAID SECTION 1 BEARS NORTH 00° 45' 37" WEST (BASIS OF BEARING PER AMENDED CONDOMINIUM PLAT - LOT 1, "THE OFFICES AT POWER RANCH", RECORDED IN BOOK 873, PAGE 36, MARICOPA COUNTY RECORDS), A DISTANCE OF 2630.06 FEET;

THENCE NORTH 00° 45' 37" WEST ALONG THE EAST LINE OF SAID SOUTHEAST QUARTER OF SECTION 1, A DISTANCE OF 1085.22 FEET;

THENCE DEPARTING PERPENDICULAR TO SAID EAST LINE, SOUTH 89° 14' 23" WEST, A DISTANCE OF 65.00 FEET TO THE SOUTHEAST CORNER OF SAID PLAT AND THE WEST RIGHT OF WAY LINE OF POWER ROAD AS SHOWN ON SAID PLAT, SAID POINT BEING THE POINT OF BEGINNING;

THENCE, SOUTH 00° 45' 37" EAST ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 236.63 FEET AS DRAWN ON THE AUTOCAD SITE PLAN DRAWING PROVIDED BY ROBERT KUBICEK ARCHITECTS, INC., JOB NUMBER 13153.5 CALLED '13153.5 SP-1(08-07-13).DWG';

THENCE DEPARTING SAID RIGHT OF WAY LINE, SOUTH 89° 15' 06" WEST, A DISTANCE OF 298.23 FEET AS DRAWN ON SAID AUTOCAD SITE PLAN DRAWING;

THENCE SOUTH 00° 45' 37" EAST, A DISTANCE OF 187.37 FEET;

THENCE SOUTH 89° 15' 06" WEST, A DISTANCE OF 326.77 FEET;

THENCE NORTH 00° 45' 37" WEST, A DISTANCE OF 424.00 FEET TO THE SOUTHWEST CORNER OF SAID PLAT;

THENCE NORTH 89° 15' 06" EAST ALONG THE SOUTH LINE OF SAID PLAT, A DISTANCE OF 625.00 FEET TO THE POINT OF BEGINNING.

## FLOOD ZONE

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE SUBJECT PROPERTY LIES ENTIRELY IN ZONE X-SHADED (AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.) ACCORDING TO THE FLOOD INSURANCE RATE MAP FOR THE COUNTY OF MARICOPA, COMMUNITY PANEL NO. 04013C 2690H, EFFECTIVE DATE SEPTEMBER 30, 2005.

## RETENTION CALCULATIONS

VOLUME REQUIRED = DAC  
D = 0.25' - 50 YEAR, 24 HOUR STORM  
A = DRAINAGE AREA (S.F.)  
C = WEIGHTED RUNOFF COEFFICIENT

## WEIGHTED RUNOFF COEFFICIENT:

ROOF/CONCRETE (C=0.95) = 102,113 S.F.  
ASPHALT PAVEMENT (C=0.90) = 90,283 S.F.  
DESERT LANDSCAPING (C=0.70) = 32,147 S.F.  
WEIGHTED C = (102,113\*0.95 + 90,283\*0.90 + 32,147\*0.70)/224,543 = 0.89

## AREA A:

AREA = 188,882 S.F.  
HIGH WATER: 34.5  
DEPTH: 3'  
VOL. REQUIRED: 42,026 C.F. + \*4,938 C.F. FROM RETENTION BASIN B  
TOTAL VOL. REQUIRED = 46,964 C.F.  
VOL. PROVIDED: 47,574 C.F.

## AREA B:

AREA = 35,661 S.F.  
HIGH WATER: 35.0  
DEPTH: 2'  
VOL. REQUIRED: 7,934 C.F.  
VOL. PROVIDED: 2,996 C.F.  
\*4,938 C.F. TRAVELS INTO RETENTION BASIN A

- FOUND C.O.P. BRASS CAP IN HAND HOLE
- FOUND C.O.P. BRASS CAP FLUSH UNLESS NOTED OTHERWISE
- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR WITH OPTIMUS LS 31610 CAP UNLESS NOTED OTHERWISE
- SET NAIL AND LS 31610 TAG

- EASEMENT LINE
- PROPERTY LINE
- BOUNDARY LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING SIGN
- EXISTING SANITARY SEWER MANHOLE
- EXISTING TRANSFORMER

- EXISTING FIRE HYDRANT
- EXISTING BACKFLOW PREVENTER
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING COMMUNICATION MANHOLE
- EXISTING UTILITY POLE
- EXISTING PULL/JUNCTION BOX

- EXISTING ELECTRIC METER
- EXISTING DOWN GUY WIRE
- EXISTING LIGHT POLE
- EXISTING STORM DRAIN
- EXISTING SEWER MAIN
- EXISTING FIBER OPTIC
- EXISTING WATER MAIN

- EXISTING FENCE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR & ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN
- PROPOSED CATCH BASIN
- GRADE BREAK

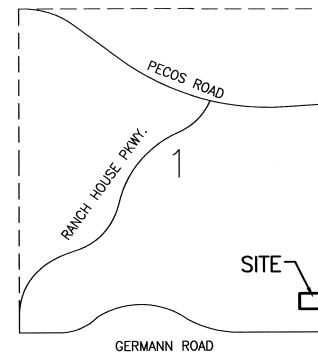
- GUTTER ELEVATION
- PAVEMENT FINISH GRADE ELEVATION
- GRATE ELEVATION

# PUBLIC STORAGE

NWC POWER ROAD AND GERMANN ROAD  
GILBERT, ARIZONA

## PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 2 NORTH, RANGE 6 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, MARICOPA COUNTY, ARIZONA.



VICINITY MAP  
SEC. 1, T. 2 N., R. 6 E.

## ARCHITECT

ROBERT KUBICEK ARCHITECTS AND ASSOC., INC.  
2233 E. THOMAS ROAD  
PHOENIX, ARIZONA 85016  
PHONE: (602) 955-3900  
CONTACT: ROBERT KUBICEK

## OWNER

PUBLIC STORAGE  
701 WESTERN AVENUE  
GLENDALE, CALIFORNIA 91201  
PHONE: (818) 244-8080  
CONTACT: KAREN CORMER-SOUTHARDS

## ENGINEER

OPTIMUS CIVIL DESIGN GROUP  
4650 EAST COTTON CENTER BLVD.,  
SUITE 200  
PHOENIX, ARIZONA 85034  
PHONE: (602) 286-9300  
CONTACT: JEFF BEHRANA

## DEVELOPER

VIVO PARTNERS  
4650 EAST COTTON CENTER BLVD.,  
SUITE 101  
PHOENIX, ARIZONA 85040  
PHONE: (602) 393-9370  
CONTACT: DEVAN WASTCHAK

## BENCHMARK

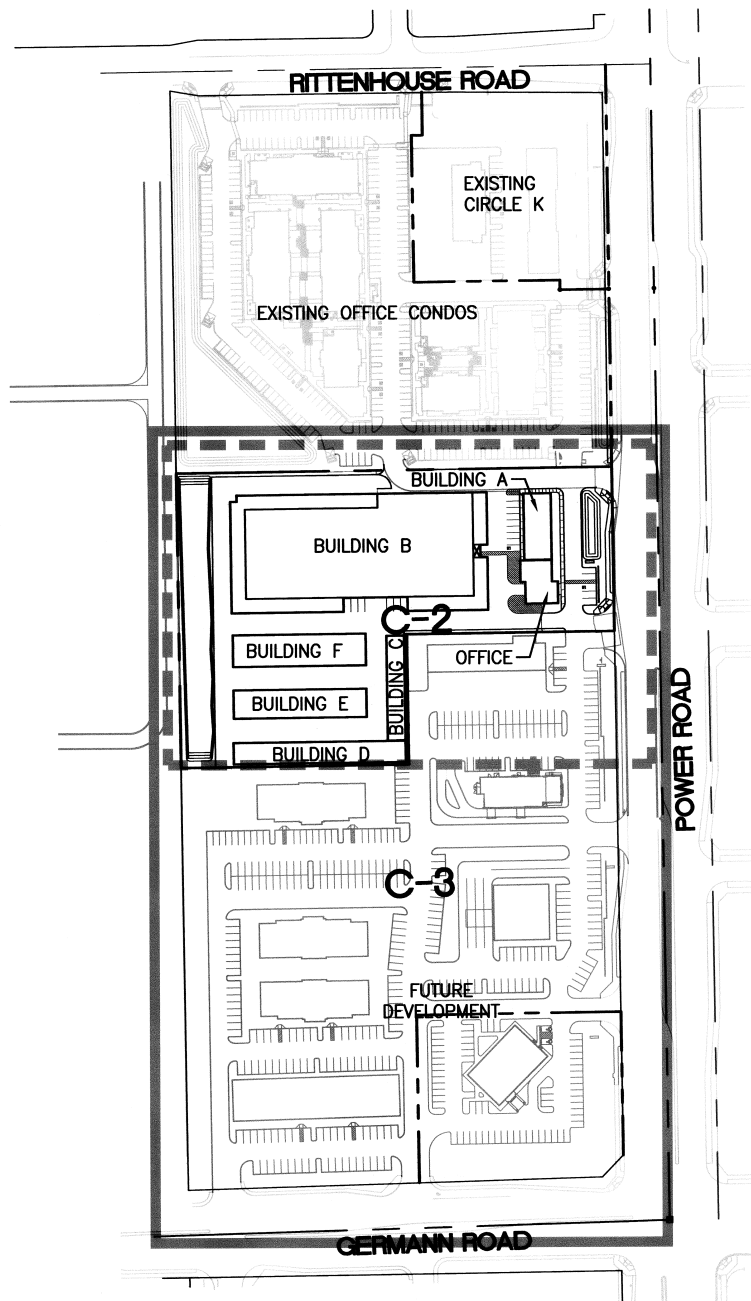
CONCRETE MONUMENT W/BRASS CAP AT THE INTERSECTION OF POWER ROAD AND GERMANN ROAD  
ELEVATION = 1339.00' - NAVD88

## BASIS OF BEARINGS

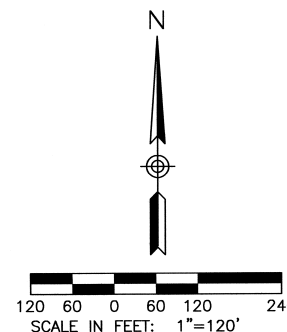
THE BASIS FOR ALL BEARING SHOWN HEREON IS THE CENTERLINE OF S. POWER ROAD, KNOWN AS BEING N. 00°45'37" W. PER AMENDED CONDOMINIUM PLAT - LOT 1, "OFFICE AT POWER RANCH" RECORDED IN BOOK 873, PAGE 36, M.C.R.

## INDEX OF PLAN SHEETS

- 1 (C-1) COVER SHEET
- 2 (C-2) PRELIMINARY GRADING AND DRAINAGE PLAN
- 3 (C-3) PRELIMINARY UTILITY PLAN



KEY MAP



## LEGEND

- FOUND C.O.P. BRASS CAP IN HAND HOLE
- FOUND C.O.P. BRASS CAP FLUSH UNLESS NOTED OTHERWISE
- FOUND MONUMENT AS NOTED
- SET 1/2" REBAR WITH OPTIMUS LS 31610 CAP UNLESS NOTED OTHERWISE
- SET NAIL AND LS 31610 TAG
- EASEMENT LINE
- PROPERTY LINE
- BOUNDARY LINE
- EXISTING CATCH BASIN
- EXISTING STORM DRAIN MANHOLE
- EXISTING SIGN
- EXISTING SANITARY SEWER MANHOLE
- EXISTING TRANSFORMER
- EXISTING FIRE HYDRANT
- EXISTING BACKFLOW PREVENTER
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING COMMUNICATION MANHOLE
- EXISTING UTILITY POLE
- EXISTING PULL/JUNCTION BOX
- EXISTING ELECTRIC METER
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- EXISTING FENCE
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR & ELEVATION
- PROPOSED RETAINING WALL
- PROPOSED STORM DRAIN
- PROPOSED CATCH BASIN
- GRADE BREAK
- GUTTER ELEVATION
- PAVEMENT FINISH GRADE ELEVATION
- GRATE ELEVATION

## PUBLIC STORAGE COVER SHEET

NWC POWER ROAD AND GERMANN ROAD, GILBERT, AZ  
SECTION 1, T2S, R6E OF THE  
G&SRM, MARICOPA COUNTY, AZ



**OPTIMUS**  
CIVIL DESIGN GROUP  
4650 EAST COTTON CENTER BLVD.,  
SUITE 200  
PHOENIX, ARIZONA 85034  
PH: (602) 286-9300 FAX: (602) 286-9400

DESIGNED: AJR  
DRAWN: JS  
CHECKED: AJR  
DATE: 1/17/14  
JOB NO.: 131177

DRAWING NO

C-1

1 OF 3



POWER RANCH

S. WINTER LN.

N00°45'37"W 424.00'

EXIST. 6" SEWER MAIN  
EXIST. 8" WATER MAIN

PROPOSED 12' EXCLUSIVE WATER ESMT.

PROPOSED 12' EXCLUSIVE WATER ESMT.

BUILDING F

BUILDING E

BUILDING D

S89°15'06"W 326.77'

BUILDING B

LA-POWER LLC.  
APN 314-01-144

N89°15'06"W 625.00'

PROPOSED 12' EXCLUSIVE WATER ESMT.

S89°15'06"W 298.23'

OFFICE

BUILDING A

PROP. 65' R/W

EXIST. 8" WATER MAIN

SOUTH POWER ROAD

BASE OF BEARING  
N00°45'37"W 1085.22'

### UTILITY NOTES

- 1 PROPOSED SERVICE CONNECTION TO EXISTING 8" SEWER MAIN.
- 2 PROPOSED 4" PRIVATE SEWER SERVICE AT 1.0% PER I.P.C.
- 3 PROPOSED CONNECTION TO EXISTING WATER MAIN.
- 4 PROPOSED CLEANOUT.
- 5 PROPOSED 8" WATER MAIN.
- 6 PROPOSED FIRE HYDRANT.
- 7 PROPOSED FIRE SERVICE
- 8 PROPOSED DOMESTIC WATER METER.
- 9 PROPOSED LANDSCAPE WATER METER.

30 15 0 15 30 60  
SCALE IN FEET: 1"=30'



## PUBLIC STORAGE PRELIMINARY UTILITY PLAN

NWC POWER ROAD AND GERMANN ROAD, GILBERT, AZ  
SECTION 1, T2S, R6E OF THE  
G&SRM, MARICOPA COUNTY, AZ



**OPTIMUS**  
CIVIL DESIGN GROUP  
4650 E. COTTON CENTER BLVD.  
SUITE 200  
PHOENIX, AZ 85040  
PH: (602) 286-9300 FAX: (602) 286-1400

DESIGNED: AJR  
DRAWN: JS  
CHECKED: AJR  
DATE: 1/17/14  
JOB NO.: 131177

DRAWING NO

C-3

3 OF 3

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ALUMINUM STOREFRONT  
"BRONZE ANODIZED FINISH"



SHERWIN WILLIAMS  
SW "COBBLESTONE"



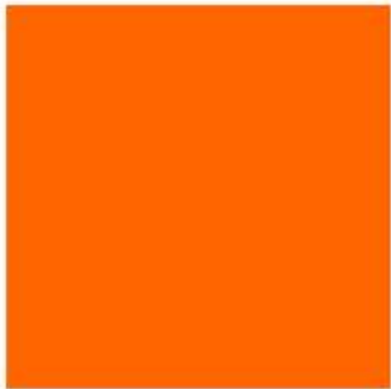
SHERWIN WILLIAMS  
SW2060 "CASABLANCA"



SHERWIN WILLIAMS  
SW2059 "SAND"



SHERWIN WILLIAMS  
SW "SPANISH MOSS"



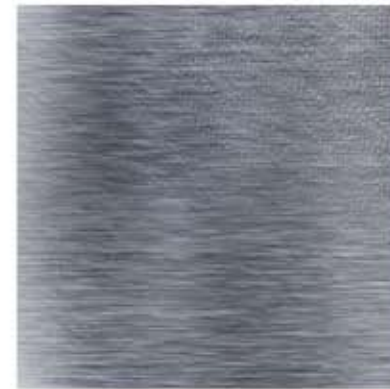
PUBLIC STORAGE "ORANGE"



PUBLIC STORAGE "PLUM"



PUBLIC STORAGE "YELLOW"



GALVANIZED METAL ROOF



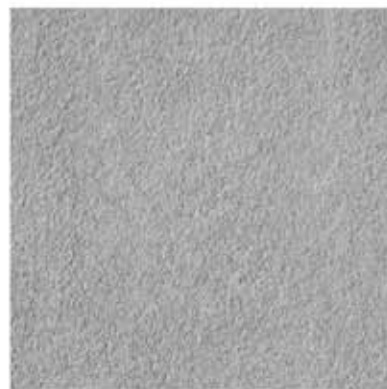
CULTURED STONE  
"CEDAR LIMESTONE" CSV-2044



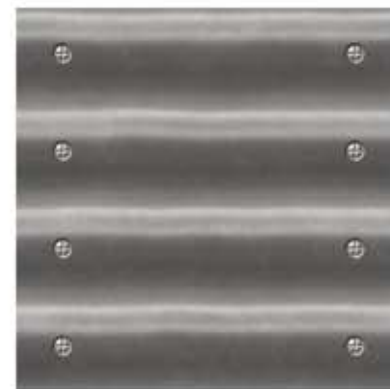
SPLIT FACE CMU



SMOOTH FACE CMU

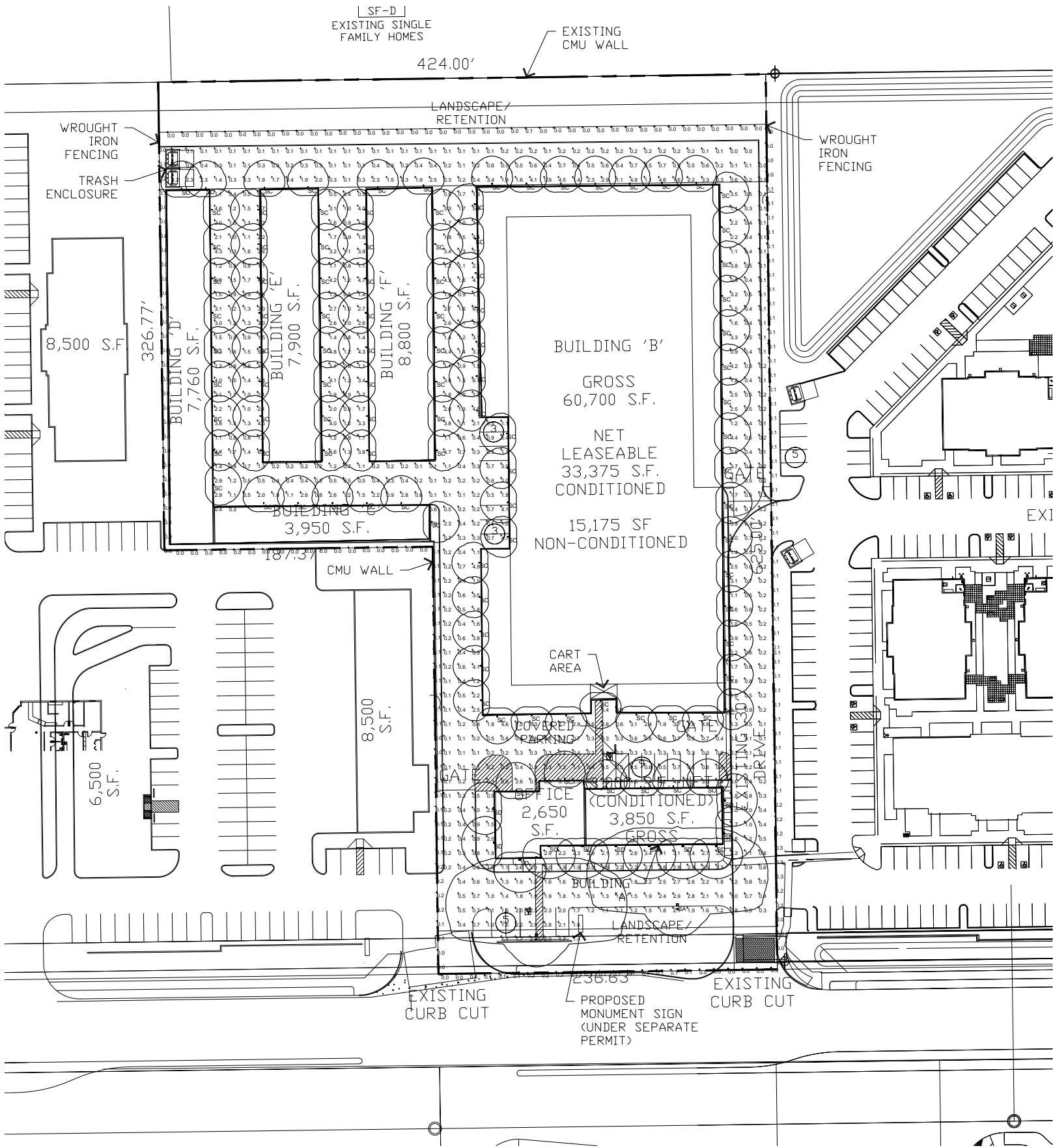


STOCCU



CORRUGATED METAL PANEL

**DR13-41**  
**Attachment 8: Color Board**  
**February 13, 2014**



Luminaire Schedule									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	File Name	Lumens Per Lamp
	SA	2	Lithonia Lighting	DSX4 LED 40K 1000 40K T4M MVOLT 185 MVOLT 3PA COBLED / DSX 11 2' WITH 2.8' BASE	DSX4 LED WITH (2) 20 LED LIGHT ENGINE TYPE T4M OPTIC 4000K @ 1000MA WITH HOUSE SIDE SHIELD	LED	1	DSX4_LED_40K_1000_40K_T4M_MVOLT_185.lvs	8622.303
	SC	105	Lithonia Lighting	OLWFP 11 / WALL MOUNT AT 8 FT	OUTDOOR LED WALLPACK SMALL 4000K TEMP 60-3C	LED - 109W LUMENS / 4000K COLOR TEMP	1	OLWFP_11.lvs	1111.409
	SD	11	Kanati	FS1218T 270V MPV BR 3640K 1 120	WALL SCONCE	LED - 3800 LUMENS / 4000K COLOR TEMP	2	FS1218R.lvs	1800

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PROPERTY LINE	X	0.1 %	0.3 %	0.0 %	N/A	N/A	0.31
SITE	+	1.3 %	8.3 %	0.0 %	N/A	N/A	0.27

PRELIMINARY SITE PLAN

scale: 1" = 40'-0"



THIS SITE PLAN HAS BEEN PREPARED WITHOUT THE AID OF A SURVEY. ALL PROPERTY BOUNDARIES ARE ROUGH APPROXIMATIONS. THIS DRAWING IS TO BE USED FOR CONCEPTUAL PURPOSES ONLY AND IT IS NOT TO BE THE BASIS FOR ANY LEGALLY BINDING DOCUMENTATION.

DR13-41  
Attachment 9: Lighting Plan  
February 13, 2014

PUBLIC STORAGE - POWER  
NWC POWER ROAD AND GERMANN ROAD  
GILBERT, AZ

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design by: EF  
drawn by: EF  
checked by: RWK

PM-1  
project #: 13153.5

IRKAA  
ARCHITECTS  
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602-955-3900

PRELIMINARY

01-16-14

NOTICE OF ALTERNATE BILLING OR PAYMENT CYCLE:  
THIS CONTRACT MAY ALLOW THE OWNER TO REQUIRE THE SUBMISSION OF BILLING OR ESTIMATE IN BILLING CYCLES OTHER THAN THIRTY DAYS. THIS CONTRACT MAY ALLOW OWNER TO MAKE PAYMENT ON SOME ALTERNATE CYCLES OF BILLING AFTER CERTIFICATION AND APPROVAL OF BILLING AND ESTIMATE. A WRITTEN DESCRIPTION OF SUCH OTHER BILLING CYCLE APPLICABLE TO THE PROJECT IS AVAILABLE FROM OWNER OR DESIGNATED AGENT.